



City of Bellevue

Post Office Box 90012 ▪ Bellevue, Washington ▪ 98009 9012

June 21, 2021

Ms. Kandice Kwok
JYOM Architects
440 15th St.
San Diego, CA 92101

Pinnacle Bellevue Development LLC
911 Homer Street, Suite 300
Vancouver, BC V6B 2W6
Canada

RE: Pinnacle South Master Development Plan
10116 NE 8th St
Application #21-104954-LP

SENT VIA MYBUILDINGPERMIT.COM

Dear Ms. Kwok:

The purpose of this letter is to give you revision comments by City staff regarding the proposed master development plan for a mixed-use building project located at 10116 NE 8th Street. When you submit the requested information and changes, please provide a written response to each comment. Additional information may be requested as a result of our review of your re-submittal to the following issues. If you would like to meet to discuss these comments prior to submitting revisions, you may call individual reviewers or me at your earliest convenience.

The next Master Development Plan submittal should clearly demonstrate in a written narrative and on the plans submitted, how you have addressed each of the applicable standards, guidelines, policies and other requirements outlined in this letter. **A copy of this letter is required to be submitted with your Master Development Plan application and should acknowledge compliance with each requirement and indicate the location of compliance within the submitted plan set.** A Word copy of this letter will be provided to you directly via e-mail for your convenience in drafting the Comment Response Letter.

Land Use Division, Development Services Department

Staff contact: Carol Orr, (425) 452-2896, COrr@bellevuewa.gov

The following are comments based on the Master Development Plan submittal documents. This letter provides written comments on the submittal, but additional comments are provided within the plan set as well. Wherever possible the appropriate section of the Land Use Code is cited.

Site Plan Comments (Site Plan B 21-104954 3-10-2021 2.46.22 PM.pdf)

- Provide a more simplistic site plan that shows more information about the following
 - The location of each perimeter land use district that is located on site.
 - Show the location of all “build to” lines
 - Provide dimensions for all sidewalks and planting strips.
 - Step offs and pet relief areas will be discussed in more detail in Design Review, but consider them now.
 - Anticipate where bus passengers will embark and disembark.

- Contemplate where ride-share services and hotel guests will be directed for passenger pick up and drop off.
 - Show the location of the required bus layover spaces on NE 10th Street and the bus-stop on NE 8th for reference.
 - How will the mid block connection proposed across NE 10th Street be designed to be comfortable and safe considering the layover spaces.
 - Required Pedestrian connections both north-south and east-west across the site.
 - See LUC 20.25A.160 for guidelines
 - Proposed Lot Coverage by Structure calculations
 - Proposed FAR for each building
 - See notes below in Amenity Plan and Charts for discussion of what items will effect the calculation of FAR
 - Required Landscaping per 20.25A.110.
 - Square footage of each plaza, and an indication of which phase it will be associated with.
 - Plaza shall be at least 10% of the site at completion, but also 10% of each phase.
 - Plazas shall not measure less than 3,000 SF total
 - Each phase shall install amenities associated with the phase being constructed. Amenities cannot be delayed to later stages in the development of a phased project.
2. This plan indicates that there are only two entrances to the parking garage, from 102nd Avenue NE and from the internal drive between towers 6 and 7.
- Consult with Transportation if this will be sufficient to provide access to this development.
 - Consider the needs of ride-share, delivery vehicles, and service vehicles such as garbage and recycling trucks and generator fuel trucks.
 - Discuss with Fire about their needs to respond to emergency events quickly and safely.

Addressing Plan Comments (Addressing Site Plan 21-104954 3-9-2021 11.54.56 AM.pdf)

1. Addressing of individual towers will be confirmed under the Design Review permit by the City of Bellevue Address Coordinator.

Amenity Plan and Chart Comments (Amenity Plan and Chart 21-104954 3-9-2021 12.06.23 PM.pdf)

1. Provide a more simplistic site plan that shows more information about the following
 - Provide more information about the location and amenities involved in the north/south and east/west pedestrian connections across the site.
2. Break down the FAR by the perimeter districts to show compliance with maximum FAR limitations. Is affordable housing being utilized?

Building Elevations Comments (Building Elevations 21-104954 3-9-2021 9.03.41 PM.pdf)

1. Average Finished Grade (AFG) elevation is not shown.
 - AFG is the level from which building height is measured. This should be shown on each elevation sheet so compliance with Land Use Code can be verified.
2. Dimension the height of each building
 - Include the height of the parapet in the building height.
3. Dimension the distance between towers

Building Floor Plan Comments (Building Floor Plan 21-104954 3-9-2021 9.03.48 PM.pdf)

1. Average Finished Grade (AFG) elevation is calculated from where the structure meets grade. In the case of towers 1,2,3 and 8, and towers 4 and 5 this is at the grade level of the podium.

Information not found in submittal documents.

- Please keep the City of Bellevue updated on these discussions and what remedies or resolutions are reached. Please copy us on all correspondence with Ecology.
- We will meet again once we've had a chance to review Department of Ecology comments with regard to our SEPA review. A new project description may be required.

Utilities Department

Staff Contact: Mohamed Sambou, (425) 452-4853, msambou@bellevuewa.gov

General

1. Provide a sheet that highlights each of the various utility easements on-site. It is hard to identify the easements on the preliminary civil plan. There is a sewer main on-site that the property to the west utilizes. How will the property to the west connect to sewer in the proposed condition? Will sewer main be removed? If so, this will require a relinquishment through city council. This process is a minimum of 4 months and should be started early.
2. Profile sheets will be required for the water, sewer, and storm utilities. Each profile should show the utility in question bold and the other utilities grayed out for reference.

Preliminary Civil Plans

1. Provide a utility sheet that shows all proposed water, sewer, and storm utilities in bold.
2. Show where each of the proposed water meter and water fire services are for each building.
3. Show the proposed sewer connection for each of the buildings. Is there any retail that would require a grease trap? A separate connection is required for these areas that must run through a grease interceptor.
4. Show the entirety of the proposed storm system. Call out the catch basin RIM and inverts and the pipe sizes, slopes, and materials. Show where the water quality facilities will be located and the connections from each building into the storm system on-site and in the ROW.

Clearing and Grading, Development Services Department

Staff Contact: Janney Gwo, (425) 452-6190, jgwo@bellevuewa.gov

Please see comments in the Land Use Application Comment Sheet. A Final Geotechnical Report is needed for additional Clear and Grade review.

Transportation Department

Staff Contact: Randa Kiriakos, (425) 452-2569, RKiriakos@bellevuewa.gov

1. **Traffic Impact Analysis**
 - a. Address the comments on the attached document
 - b. Roundabout re-evaluation will be required with the revisions on Pinnacle North with the additions of another garage access off of NE 10th Street. And the changes in trip generation and trip distribution.
 - c. The selection of the intersection control at NE 10th Street and 102nd Avenue NE will impact channelization and potentially roadway width requirements.

2. General Comments

- a. Transportation Preliminary Civil Plans Requirements checklist for Design Review is required for completion by all disciplines. Sections for Traffic Signal Plans and Illumination plan must be completed by the Traffic Engineer. The completion of the checklist and corresponding plans are required. Please visit the following link for additional information.
<https://bellevuewa.gov/sites/default/files/media/file/2020/Preliminary%20Civil%20Plans%20Requirements.pdf>
- b. Additional comments will be provided based on the completion of the Preliminary Civil Plans Requirements checklist and plans submitted in accordance to the requirements.

3. Utilities

- a. Any existing above-grade utility lines fronting the project site must be undergrounded.
- b. No new above ground utilities or cabinets shall be permitted within the planter strip or sidewalk. Transformers and utility vaults to serve the development shall be placed inside the building or behind the sidewalk.
- c. A coordination meeting between the applicant, City, and PSE is recommended. PSE contacts: Andy Swayne (andy.swayne@pse.com) and Kristopher Leach (Kristopher.Leach@pse.com)

4. Easement and Right of Way Dedication Areas

- a. Above or below grade encroachment onto existing or future Right-of-Way is not allowed.
- b. Right of way dedication is required to the new back of curb to include any portion of the road, curb, and gutter.
- c. A Sidewalk and Utility Easement to the City is required for any portion of the planter and sidewalk located on private property.

Both ROW dedication and SW/Utility easements to the City are required prior to issuance of GD permit.

- d. Sidewalk and utility easements shall meet the City's required vertical clearances above and below finished grade according to the following:
 - i. Minimum vertical depth of 25-ft from the lowest point of the finished grade along the length of the easement for traffic signal poles and bases: 5-ft beyond point 5' beyond Point of Curvature to 5' beyond Point of Tangency.
 - ii. Minimum vertical depth of 12-ft from the lowest point of the finished grade along the length of the easement for City of Bellevue Utilities, Transportation Illumination Systems, Street Trees and Landscaping along the length of the frontage.
 - iii. 60-ft above grade to accommodate the small cell wireless towers.

A Memorandum of Permit will be required for below grade or above grade encroachments onto the sidewalk and utility easement prior to issuance of any Certificate of Occupancy.

5. King County Metro

- a. NE 8th Street Bus Stop:
 - i. Provide a layout for the reconstruction of the transit stop on the north side of NE 8th Street west of 102nd Avenue NE providing 48-foot clear landing zone.

- ii. The bus shelter to be provided north of the 11-ft required concrete sidewalk.
 - iii. Easement to the City will be required to incorporate the bus shelter area.
 - iv. See additional KC Metro Transit comments provided by Robbie Frankel in email dated 6/7/2021.
- b. NE 10th Street Bus layover
- i. According to the concurrence letter between the City and King County Metro, the existing layover location eastbound on NE 10th Street nearside 102nd Avenue NE currently accommodates 3 buses and need to remain available for future use. Per KC Metro, the 3 buses are 60-ft coaches.
 - ii. The channelization and roadway width along NE 10th Street are dependent on the selected intersection control at NE 10th Street/102nd Avenue NE. The 50-ft curb to curb roadway width is based on a Roundabout layout with an 8-ft median in place of the left turn lane. Additional width maybe required if the intersection remains signalized. Travel lanes are 11-ft wide, and bus layover width is 11-ft. Refer to Pinnacle North for the curbside parking width on the north side of NE 10th Street.
 - iii. The 1.5-ft parking step-off area adjacent to the bus layover maybe eliminated and width shifted to the roadway.
 - iv. Provide 4-foot pedestrian path connections between the curb and the sidewalk through the planter strip near the bus doors for the drivers.
 - v. See additional KC Metro Transit comments provided by Robbie Frankel in email dated 6/7/2021.
6. Coordinate locations of fire hydrants with on-street parking and transit stops/layover. No curb activity can occur within 15' of a hydrant.
7. All doors along public sidewalk easements shall be recessed. Doors are not allowed to swing open into the public sidewalk.
8. Any awnings over the sidewalk or utility easement must be at least 9 feet above the sidewalk and be removable. A minimum of three feet horizontal clearance from any streetlight or traffic signal pole must be maintained.
9. Identify if any proposed balconies encroaching onto the sidewalk and utility easement. Vertical clearance of 60-feet above sidewalk grade is required due to the small wireless facilities and potential tree conflicts. Show the outline of the Balconies on the Civil plans and combined illumination and street trees plans for review of adequate horizontal and vertical clearances.

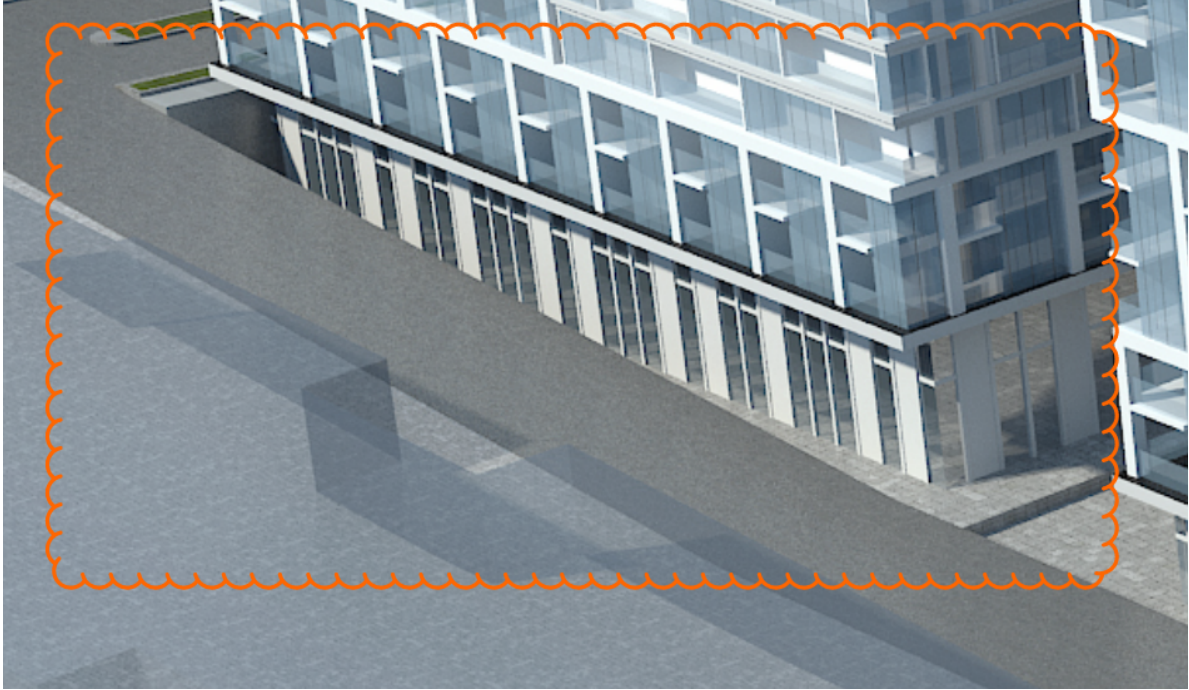
Master Development Plan sheet comments:

1. Topographic Survey – Page 2

- a. Show correct symbols for traffic signal mast arms in addition to the street lights (Typical for all signal poles at all signalized intersections).
- b. Plan missing existing right-of-way dimensions (typical on all streets).

2. Birdseye Perspective:

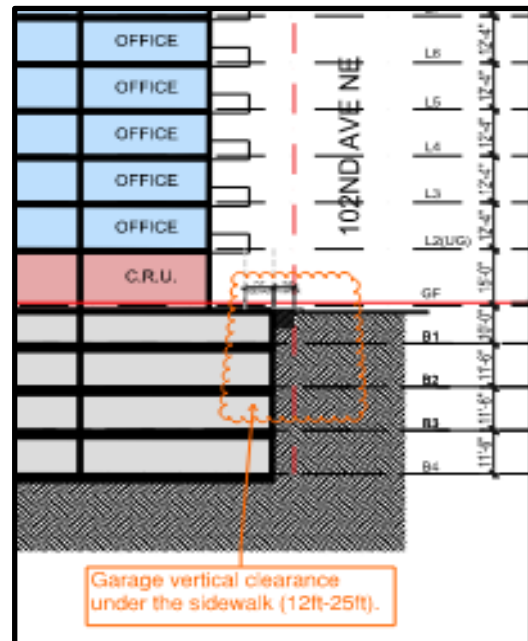
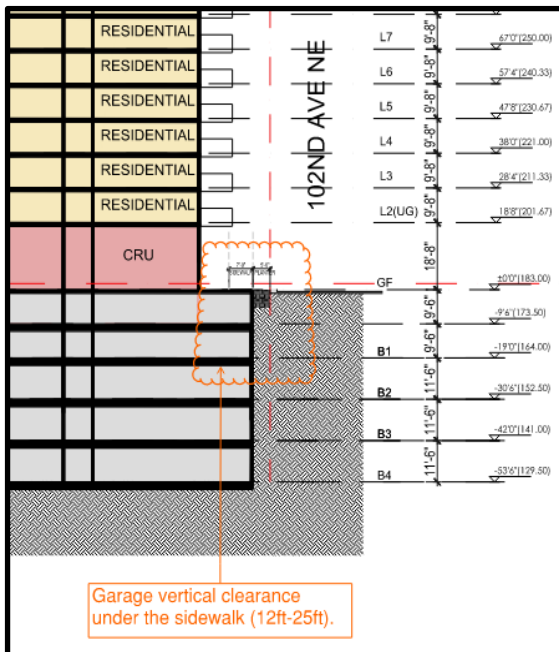
- a. Show proposed plan, profile, and cross-section design of the private access road on the west limits of the Pinnacle property. The Birdseye perspective shows the building platform below the road.

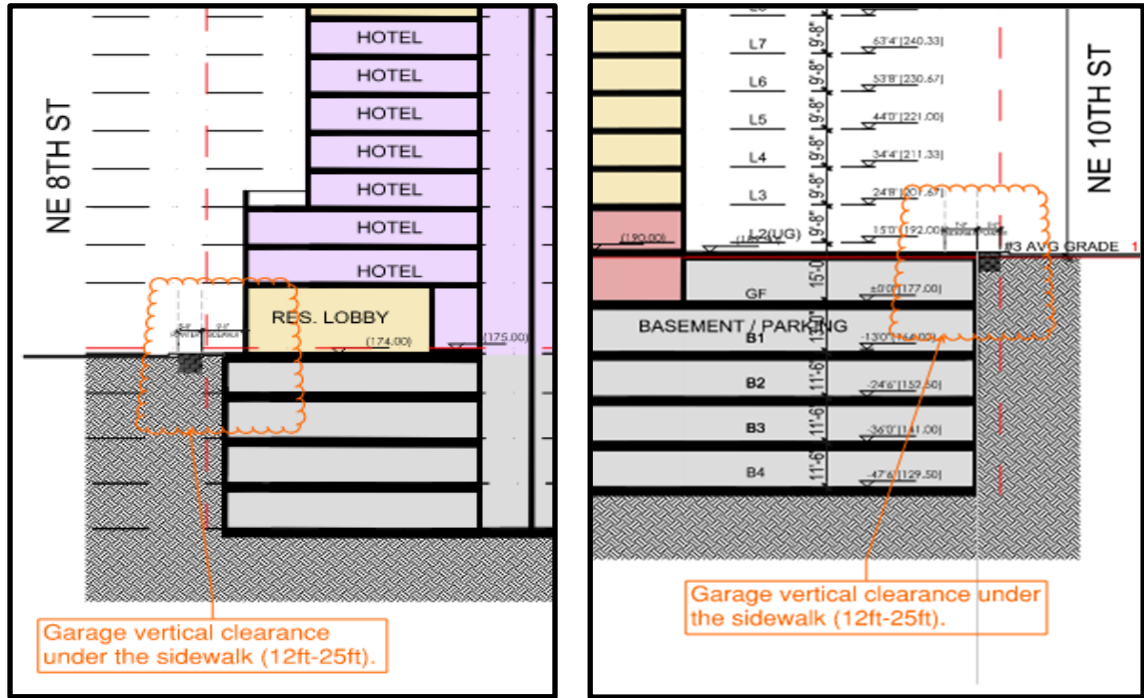


- b. Update the Transportation elements on the Birdseye perspectives, they are not consistent with the proposed locations on the Civil and Traffic Plans

3. Building Elevations

- a. Vertical clearance below sidewalk and utility easement shall be maintained to the back of the required sidewalk width. Refer to Sidewalk and Utility easement requirements.

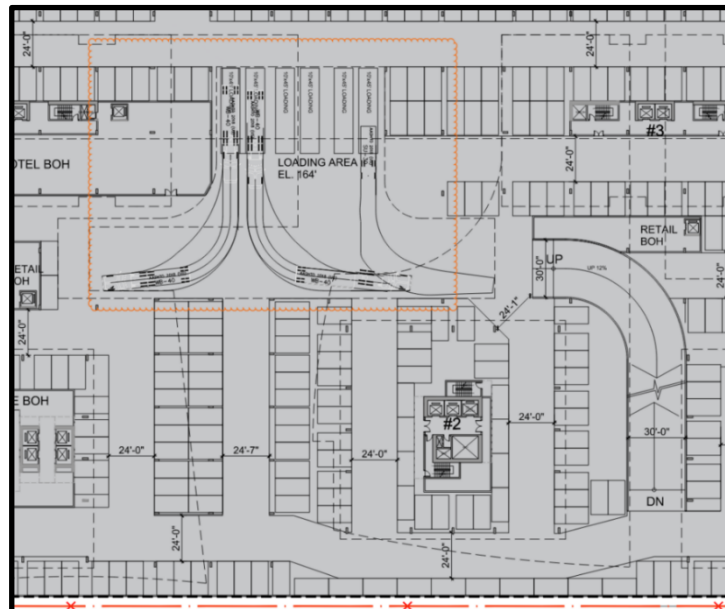




4. Design Vehicle and Turning Templates:

- a. P1 Plan A1.05: Architectural plan shows WB-40 lading space in the garage. Provide AutoTurn turning movements simulation showing access from the driveway and through the garage.
- b. Coordinate with Traffic and Civil plans – see plan sheet C6.0 Turning Plan and comments below

5. IL01: Illumination Plan – South Lot



- a. NE8/102 is a Major-Collector – update light levels
- b. NE10/102 is a Collector-Collector – provide calcs for this intersection
- c. 102nd Midblock is a collector-midblock – design to 18lux
- d. NE8 Midblock is a major-midblock – design to 26lux
- e. NE10 Midblock: Show analysis
- f. NE10 Corridor: Show analysis
- g. Any light fixture on new pole (SL-100-2) will use a Leotek Greencobra fixture instead of a KIM fixture; KIM fixtures are only used if an existing pole is reused and light fixture is upgraded to LED.
- h. Light Distribution: type IV is OK, but we typically use Type 2 or Type 3 for roadway lighting.
- i. All new light poles (SL-100-2) are 35ft mounting height with 8-ft arms.
- j. For the KIM fixtures, call out a -BLT fixture finish, and a -7PR photocell receptacle
- k. Treat NE8/101 as a Major-Tertiary as 101st is a local street/private street.
- l. CN2 – why does the arm need to be replaced? Not sure the SL-102-1 arm would fit on this existing pole.
- m. Add note to the luminaire offset: “3-FT MINIMUM REQUIRED FROM FACE OF CURB TO FACE OF LUMINAIRE POLE PER CITY OF BELLEVUE DRAWING SL-120-1.”
- n. Submit AGI32 file according to the Preliminary Civil Plan Requirements.

6. Preliminary Civil Plans

- a. C1.1: Topographic Survey – See Topographic Survey Page 2 comments above. Also, this sheet is missing the existing access easement information on the west of the property.
- b. C1.2: Channelization Plan:
 - i. Channelization plan should reflect proposed improvements clearly (existing conditions should be trimmed to the matching existing point or screened back, turn off existing concrete sidewalk hatching)
 - ii. Face of Curb line appear to be missing
 - iii. Turn off utilities’ layers (water, sewer, drainage)
 - iv. Depict proposed lane width dimensions.
 - v. Proposed crosswalks need to line up with curb ramp landings
 - vi. Depict proposed crosswalk layout and curb ramp designs at mid-block crossings (NE 10th St, NE 8th St, 102nd Ave).
 - vii. The proposed mid-block crossing along 102nd Ave appears to have shifted about 70-ft to the south based on the proposed curb ramps depicted. Evaluate location with respect to the location of the through-block on Pinnacle site and the curb ramp on the east side of 102nd with respect to existing driveways/parking.
 - viii. Refer to the draft median design detail attached for use at the mid-block crossings (NE 8th mid-block crossing media design may vary based on evaluation of the emergency vehicle access at the intersection and the traffic signal modifications).
- c. C1.3: Horizontal Control Plan: Turn on Alignment stationing on all plan sheets.
- d. C3.0: Preliminary Road, Drainage, Utility and Grading Plan
 - i. Right of way dedication is required to the ultimate back of curb to include any portion of the road, curb, and gutter.
 - ii. A Sidewalk and Utility Easement to the City is required for any portion of the planter and sidewalk located on private property.
 - iii. The proposed Pinnacle development needs to take into consideration the shared

- access driveway with the property to the west (Bellevue Park Condos) with respect to the ultimate design and for constructability. Clarify the concrete hatching in the roadway. And provide roadway cross-sections along the shared access drive to reflect the varying conditions and elevations.
- iv. Driveways access onto NE 8th Street and NE 10th Street will need to be reconstructed per current City standards and must be included on the proposed plans.
 - v. Drive Aisle section should include edge conditions and reflect above grade building and below grade garage location.
- e. C3.1: Preliminary Drainage Plan and Profile:
- i. Reduce the road grade to 5% maximum to provide an ADA compliant sidewalk matching the road grade at 5% max.
- f. C3.2: Preliminary General Notes and Details:
- i. Refer to the draft median design detail attached for use at the mid-block crossings (NE 8th mid-block crossing media design may vary based on evaluation of the emergency vehicle access at the intersection and the traffic signal modifications).
 - ii. See "Easement and Right of Way Dedication Areas" section comments above and adjust proposed property lines and sidewalk easements on the sections accordingly.
 - iii. Depict proposed building and garage locations on the roadway sections.
 - iv. Show full roadway sections including the opposite side.
- g. C4.0, C4.1, C4.2: Preliminary Frontage Improvements
- i. Evaluate location of mid-block crossing at NE 8th Street and the layout of the receiving ramp on the sidewalk with respect to the existing street light pole and east/west ramp on the south side.
 - ii. Show Right-of-way and existing easement lines on the opposite side of the roadways (typical).
 - iii. Driveways access onto NE 8th Street and NE 10th Street will need to be reconstructed per current City standards and must be included on the proposed plans.
- h. C5.0, C5.1, & C5.2, C5.3: Preliminary Sight Distance Plan and Profile
- i. Label the building outlines.
 - ii. Layout of proposed channelization along NE 10th Street and 102nd Avenue NE need to be reflected on the plans in order to depict the sight lines at the correct location.
 - iii. Provide pedestrian and vehicular sight triangles at the shared access driveways onto NE 8th Street and NE 10th Street.
 - iv. Pedestrian sight triangle at 102nd Avenue driveway appear to be obstructed to the south by the building corner.
 - v. Vehicular sight triangles at driveway (between buildings 6 and 7) onto 101st Avenue NE appear to be obstructed by the building corners.
- i. C6.0: Turning Plan
- i. Layout of proposed channelization along NE 10th Street and 102nd Avenue NE need to be reflected on the plans in order to depict the AutoTurn simulation at the correct location.
 - ii. Coordinate design with Architectural design. Architectural plan A1.05 shows WB-40 lading space in the garage. Provide AutoTurn turning movements simulation showing access from the driveway and through the garage.
 - iii. SU-30 is anticipated to access 101st Ave NE, provide AutoTurn simulation at the intersections.
 - iv. Will there be anticipated vehicle loading in the garage below building 7?

- v. Where will the Republic Service trash and recycling loading occur? Show the appropriate vehicle turning movements

7. Missing plans (Per the Preliminary Civil Plans list)

- a. Right-of-Way and Easement Exhibits – This needs to be on a separate plan sheets (multiple sheets maybe needed):
 - i. Plan sheet clearly identifying existing property lines & easements
 - ii. Plan sheet clearly identifying proposed ROW dedications, sidewalk and utilities easements, Public access easement for through-block pedestrian connections, etc.
 - iii. Label dimensions
- b. Preliminary Traffic Signal Plans – are needed for all signalized intersections and proposed RRFB locations.

Fire Department

Staff Contact: *Derek Landis, (425) 452-4112, DLandis@bellevuewa.gov*

See the Fire Reviewer’s comments on the Land Use Application Comment Sheet.

Building Division, Development Services Department

Staff Contact: *Robert Snyder, (425) 452-4475, rsnyder@bellevuewa.gov*

The plans submitted for design review dated March 9, 2021 have not been sufficiently developed for a thorough review under the 2018 IBC (International Building Code), including amendments made by the State of Washington and the City of Bellevue. Complete review will occur under the building permit application(s) in accordance with the codes in effect at the time of complete application.

This mixed-use project is comprised of eight buildings over four levels of below grade parking. The buildings range in height from nine stories to twenty-six stories. The project contains residential units, hotel, office space and commercial retail space. The proposed construction type is IA

The following comments are preliminary in nature and are not intended to be all-inclusive or imply approval:

The plans generally conform to the level of detail typical at this stage in the design process. The following items are required to be addressed in the development of the plans for building permit.

1. This project will require Major Project Permits (BB) for each building and the below grade parking.
2. Phasing and Vesting of the project shall be per the attached Phased Project Vesting Policy for Major Projects. Submit a phasing plan together with a construction sequencing schedule.
3. Upon approval of the Phasing Plan, an ETS (Estimated Timeline Schedule) will be established. The items below provide additional information about the ETS and Phasing Plan processes.

ESTIMATED TIMELINE SCHEDULE	To improve predictability on how long it will take to obtain permits and to establish critical milestones for the project. The ETS also indicates the relationship and dependencies between the permits. Following the preapplication meeting a copy of the estimated timeline (ETS) will be submitted to the applicant. The applicant should enter the proposed submittal date information for each permit. Staff will review and input their information. This is a working document until finalized. Uses the DC (predevelopment services) to process.	
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PHASING OF PERMITS	When approved by the building official, a phasing plan may be submitted for review, and if approved, the phasing plan will establish a schedule for vesting of the proposed project subject to submittal of the first complete building permit application identified in the phasing plan (excluding a shoring permit). The phasing plan is subject to the following limitations. After the first building permit application, each subsequent permit identified in the phasing plan is required to be submitted with a complete building permit application within 12 months of the submittal of the prior permit, and the last permit application for the proposed project is required to be submitted with a complete building permit application within 36 months of the first permit application which established vesting for the proposed project. The first permit application must be issued and must not expire to maintain project vesting, and the issued permit must not expire due to not starting work within 1 year or suspending work for more than 180 days. The vested status for the project is retained beyond the 3-year maximum life of the first permit if all inspections required for the work under that permit have been completed and approved. The vested status does not apply to any permit application submitted more than 36 months after the first permit application which established vesting.	BCC 23.10.090F.3
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Addressing

Staff Contact: *Jami Fairleigh, Parcel and Address Coordinator, (425) 452-4310, jfairleigh@bellevuewa.gov*

Addressing for the development will be determined during review of Design Review permits.

If you need further clarification, please contact the appropriate staff person listed above. If I can be of any additional assistance in facilitating your permit review, please contact me directly. On behalf of the review team, we look forward to working with you as this Downtown proposal evolves.

Sincerely,

Carol Orr,
COrr@bellevuewa.gov
Land Use Planner
(425) 452-2896

cc: Review Team

Attachments

Land Use:
2019 Comprehensive Plan Matrix (Sent via email)
Calculating FAR and Building Height Diagrams (3)